

A Guide to  
Occupancy &  
Re-Occupancy  
Permit Inspections



## Passage of Law

The City of Pagedale Ordinance 1623 of April 25, 2018 adopted and enacted the Property Maintenance Code of St. Louis County, County Ordinance 24,400, Chapter 1110 and the International Property Maintenance Code of 2009.

Copies of the St. Louis County Ordinance 24,400 in a “USER FRIENDLY” format are available for purchase at the St. Louis County Clayton Public Works Permit counter.

Copies of the International Code Council Property Maintenance Code Book may be purchased through the American Institute of Architects, 911 Washington Ave, St. Louis, MO 63101 or via their website at [www.iccsafe.org](http://www.iccsafe.org)

## Forward

The following guide attempts to illustrate what the St. Louis County inspectors look for on occupancy and re-occupancy inspections.

It would be impossible for us to include a photo of each and every item from the Property Maintenance Code, but the most common items are shown here for your convenience.

Each inspector must make judgment calls based on the code. The judgment of one inspector versus another may vary.

Please note that some plumbing, electrical, deck, and other work may require a separate permit with its own, separate inspections.

## Kitchen

- Utilities **MUST** be on.
- Test hot and cold water.
- GFCI protection over kitchen counters. GFCI receptacles are required at all outlets serving all kitchen counters. They may be protected at the service panel with a GFCI circuit breaker, or protected “upstream” at another outlet, but should be so marked with a sticker.
- Wet bar must be GFCI protected.
- Kitchens must have an air vent **to the exterior, or an operating window.**
- Garbage disposal must have cable connector where cable enters the devise. (It is missing in the photo on the left. It is installed in the photo on the right.)

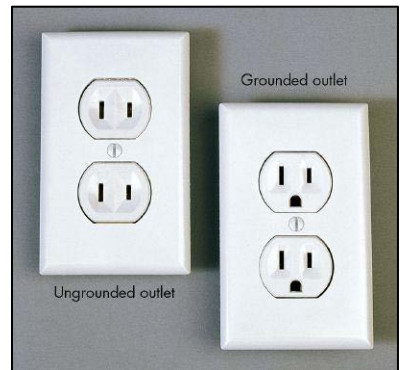


- Check the kitchen stove anti-tip device. Owner must install the anti-tipping anchor for stoves according to the manufacturer’s specifications.



## Living Room

- Inspectors check for open grounds and improper wiring with a tester on receptacle outlets.
- Original two-prong systems are acceptable, if maintained. Three-prong outlets not grounded must be properly grounded, or switched back to two-prong.
- All extension cords must be removed.
- Check fireplace for safe installation, chimney flue installation and outdoor combustion air supply. Note; gas fire logs must have clearly marked shut-off in same room, or basement.
- All egress doors shall be readily openable from the inside without the need for keys, special knowledge, or effort.
- Thumb-turn deadbolts are acceptable; interior **key deadbolts are not permitted.**
- Replace missing lock hardware.



## Bathroom

- There must be at least one outlet in each bathroom.
- All receptacles in bathrooms must be GFCI protected.
- Outlets attached to light fixtures must be GFCI protected or removed.
- Check for sufficient water pressure, correct hot & cold water connections and leakage around bathtub and fixtures.
- Caulking at tub surround must be maintained.
- Flex piping on drains is not allowable, per County Plumbing requirements.
- Unvented sinks and vanities will be required to be properly vented by a licensed plumber.
- Soft, smooth plastic water lines shall be replaced with approved metallic lines in accordance to the International Plumbing Code. However, hard plastic water lines attached to the shut-off valve **at the factory** are allowable. White braided supply line is acceptable.
- Bathrooms must have an operable window, or a mechanical exhaust fan. Exhaust fans must vent to the exterior and be located at the top of a wall or in the ceiling.
- Check toilet anchorage to the floor.
- Check for a secure toilet seat.
- Defective toilet flush mechanisms shall be repaired/replaced to ensure proper water level.
- Check seal at toilet base for leakage.



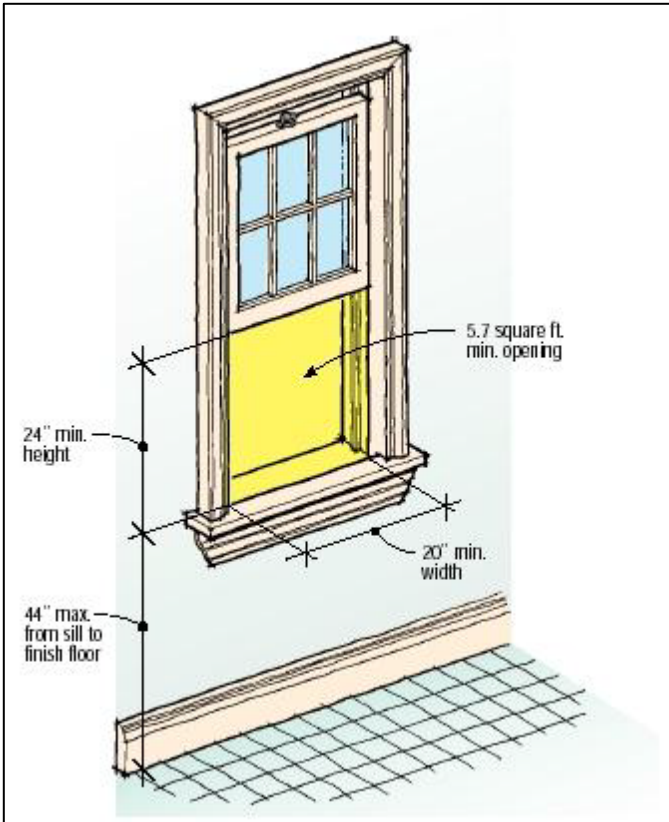
## Bedrooms

- Smoke detectors must be installed in each bedroom, in each hall in the immediate vicinity of bedrooms, and on each floor level (main floor, any usable attic or 2nd floor space, any usable basement; not an inaccessible attic).
- Smoke detectors may be battery operated, but existing hard-wired systems must be maintained.
- There is currently no requirement for a carbon monoxide detector.
- All bedrooms will be measured.
  - To qualify as a bedroom, there must be 70 square feet of floor space.
  - 100 sq. ft. will allow for 2 people in that bedroom; 150 sq. ft. = 3 people; 200 sq. ft. = 4 people.
  - Only that portion of the bedroom with a ceiling height of 5 ft. or more will be considered when measuring an attic or dormer room.
- Any room shall not be less than 7 feet wide in any direction.
- Window sash must operate freely and stay open when lifted.
- Window glazing must be maintained free from cracks and voids.
- Every window, sliding door, and other outside opening required for ventilation of habitable rooms shall have tightly fitting screens.
- A basement bedroom must have an egress window or door that opens to the exterior from inside of the bedroom.



## Bedrooms

- The window must have an opening of 5.7 square feet, minimum, to escape a fire.
- The bottom of this window cannot be more than 44 inches off the floor.
- Without this egress, we do not allow a basement bedroom, or any bedroom.





## Exterior

- All rubbish, garbage, yard waste shall be removed and disposed of.
- Grass over 8" in height shall be cut.
- Deteriorating fences requiring repair, paint, and maintenance must be fixed.
- Pools, hot tubs and spas must be surrounded by a 4 foot high fence or barrier and use gate latch hardware not accessible to small children.
  - Gates are required to be self-closing and self-latching from a still position 6" from the gatepost.
  - Where self-latching device is less than 54 inches above the bottom of the gate, the release mechanism shall be located on the pool side of the gate.
- Exterior doors offering direct access to the pool area must be fitted with pool alarms.
- Check the Electric Service Entry Cable.
  - Any deteriorated and defective entry cable must be replaced under permit to eliminate hazards. If outer sheathing of cable is frayed or deteriorated, we cite.
  - Eight (8) feet minimum height is required at the service entry cable drop and at its lowest point in the yard.
- Check electric disconnects. Damaged housing and/or covers will need replacement.





## Exterior

- Check exterior painting & accessory buildings.
- All exterior surfaces where chipping and peeling paint occurs shall be scraped and painted.
- Accessory structures shall be maintained structurally sound and in good repair.
- Check foundation and retaining wall conditions.
  - Retaining walls must be maintained structurally sound and in good repair.
- Check exterior wall conditions.
  - Check for melted, deformed, damaged and missing siding.
- Check chimney conditions.
  - All chimneys shall be maintained structurally safe and sound and in good repair.
  - Loose areas and cracked masonry joints shall be repaired/replaced/tuckpointed.
- Check wall exhaust vent conditions.
  - Bathroom, dryer, and kitchen exhaust vents shall have self closing covers with screens to minimize air leakage and prevent pests from entering the structure.
- Decks will be inspected for missing connectors, deteriorated decking, framing, metal connectors.
  - Handrails and guardrails must be 30" to 42" above the nose of the stair tread or floor.



## Exterior

- Stair risers shall maintain the same height and treads the same depth for the length of the stairs so as to avoid a tripping hazard.
- Proper joist hangers must be installed; proper bolts required at 4 x 4 supports.
- Proper sized joist hangers required at post/ledger.
- Must be attached with 16d or approved joist hanger nails.
- Exterior outlet receptacles shall have waterproof covers and be protected on a ground fault circuit interrupter (GFCI) circuit.
- We do not require GFCI outlets in an existing garage.
- Concrete and Pavement (Sidewalks and Driveways)
  - Surface differentials of 3/4 inches or more on driveways and walkways are a trip hazard and must be leveled.
  - 3/4 inch or wider cracks must be repaired.
  - Driveways shall be maintained in good condition and shall be composed of either concrete or asphalt.
- Check roof conditions.
- Deteriorated overhang, loose, or missing roof shingles, roof flashing, and vents shall be repaired/replaced.
- Roofs must be leaking badly to require a full replacement.



## Exterior

- Exterior peeling, flaking paint, and oxidation will be cited.
- Check gable vents for acceptable condition.
- Verify visible house address numbers.
  - House address numbers shall be 4 inches minimum high, 1/2 inch stroke width visible from the street.
  - Missing numbers shall be replaced.
  - May be located on either house or mailbox.
- Check guttering system conditions.
  - Leaves and foreign matter shall be cleaned out from gutters and downspouts.
  - Damaged and loose downspouts and gutters shall be repaired/replaced/secured.
- Check fascia & soffit conditions
  - Deteriorated fascia and soffits require repair and anchorage to maintain a safe condition.

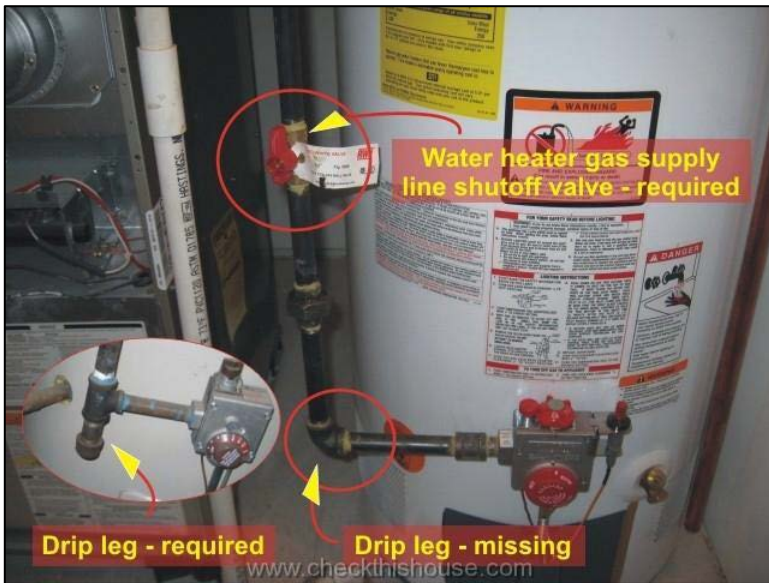


## Basement

- Check plumbing for safety and leaks.
  - Do-it-yourself plumbing jobs may require verification by a licensed plumber and newer work may require a plumbing permit pulled.
  - Deteriorated plumbing such as soil stacks and unsecured water lines shall be repaired/replaced.
  - Verify that a clean-out plug is installed in the soil stack.
  - Newly installed water heaters will be checked for proper permit required for installation.
- Check electrical system for safety (sags, etc.).
  - All electrical systems, equipment, wiring, and appliances shall be properly installed and maintained in a safe and approved manner.
  - Newly installed electrical work will be checked for proper permits.
- Check furnace venting.
  - 3 sheet metal screws must be installed at each metal flue joint.
  - Properly seal opening around furnace flue at chimney.
  - Check for deteriorated or missing exterior chimney cap.
- Check water heater.
  - Check water heater fittings, pressure relief valve (PRV), and the flue for three (3) screws connecting each joint.
  - Check for deteriorated dielectric unions.
  - No bright (flimsy) aluminum vent; must be dull (sturdy) galvanized venting.
  - Water Heater: Blow off arm must be copper or galvanized; no black iron. Must extend to within 6 inches of the floor; but no further. No threaded pipe at very end near floor.



## Basement



- Check gas lines.
- Verify 60 amp minimum electric service.
- Inspectors check cable clamps and circuits for appropriately rated fuses.
- Inspector opens box door, but does not remove the box cover to verify circuit installations inside the box.
- Open, unused circuits in the electrical panel must be covered with appropriate cover plate.
- Check gas line shut-off valves at all gas appliances.
  - Check for natural gas shut-off valves on the furnace, water heater, stove/oven and ranges.
  - Each appliance must have a separate shut off valve within 6 feet of appliance.
- Check sump pump installations.
  - Cannot drain into existing sanitary sewer; must drain to the exterior.

## Basement

- No extension cords; MUST be installed per manufacturer's instructions.
  - No GFCI required.
- Check stair risers, treads, handrails & headroom.
  - Deteriorated, damaged, loose, or missing risers, treads, handrails & guardrails shall be repaired or replaced.
  - Handrails shall not be less than 30" high or more than 42" above the nose of the tread or floor.
  - Guardrails shall not be less than 30" minimum height.
  - Stair risers shall maintain the same height and treads the same depth for the length of the stairs so as to avoid a trip hazard.
  - Stairs shall have a ceiling height of not less than 6'-8".
- Fire stops at mechanical, electrical and plumbing penetrations must cover any openings; there should be no "daylight" showing where drains and other utilities enter the floor.
  - Fire stops may be 22 gauge steel sheet metal, 3/4 inch plywood, 1/2 inch drywall, or approved fireproof caulk. No spray foam.

## Garage

- Check garage door opener for proper operation and safety over-ride for obstructions under door when closing.
  - The over-ride sensor must not be set more than 5-6 inches above pavement.
- Any openings, in the fire separation wall between the garage and living space, or at pipe and wire penetrations through the floor or wall, shall be blocked.
  - Fire stops may be 22 gauge steel sheet metal, 3/4 inch plywood, 1/2 inch drywall, or approved fireproof caulk. No spray foam. Drywall joints must be taped with at least one coat, at area bordering living space.





## Miscellaneous

- Fire blocking.
  - No spray foam products are allowable. Fire-rated caulk may be acceptable, if applied in a workmanlike manner.
- Dryer Vents
  - Clothes dryer vents cannot be cage-type on exterior, nor canister type on interior.
  - Must vent to the Exterior.
  - No vent run longer than 25 feet.
  - No screws penetrating interior of the vent.
- Check for electrical hazards
  - Electrical service panels are not allowed in bathrooms and clothes closets.
  - Existing water piping over electrical panel boxes will be allowed to remain.
- Check light fixtures
  - Every public hall, interior stairway, toilet room, kitchen, bathroom, laundry room, and furnace room shall contain at least one light fixture.
  - Repair/replace broken fixtures.
- Bars on bedroom windows must be releasable or removable from the inside without the use of a key, tool, or force greater than that which is required for normal operation of the opening.



## Additional Requirements

**Interior Mold** – Drywall must be removed if it has active, or remnants of, black growth. Cut out bad drywall areas and patch in new, as needed. Windows with black growth must have old caulk removed; new caulk inside and out.

**Basement Partitions** must be finished on a least one side if there is wiring. There cannot be broken, or deteriorated, drywall. Framing that is completely open on both sides must have all wiring removed, wiring completed with a permit, or approved wiring covered with drywall. Unfinished, open framing may remain if there is no wiring exposed.

**Exterior Light Fixtures** – Missing light bulbs must be replaced for exterior light fixtures attached to the house. Defective, existing exterior light fixtures attached to the house must be repaired or replaced, not removed. If a front or rear light POLE is not working, they do not have to be repaired, as long as the structure of the pole is sound.

**No Extension Cords** – all extension cords must be removed.

**Water Supply Lines** - White braided supply line is acceptable. Need not require a shut-off at each fixture.

**Loop Vent** – Allow if existing (such as cast iron), or at an island. If PVC, it was done without a permit, so it's illegal. Plumbing Dept. may allow replacement of old act iron with PVC under permit, if using the same configuration.

**Mechanical Venting** – no mechanical venting allowed.

**Flexible Gas Lines** – Flex line not allowable inside of furnace, only outside, unless specified in manufacturer's instructions, such as on a pulse furnace. Three (3) foot maximum flex line is allowable on water heaters and dryers; six (6) ft. maximum on stoves. Existing gas line saddle valves are not allowable.

## Miscellaneous

**Enclosed Furnace** – Requires removal of solid door and/or installation of a louvered door. Allowable in a private garage if protected from motor vehicle impact and installed with the source of ignition not less than 18 inches above the floor, or installed with a minimum clearance of 6 feet above the floor.

# References/Notes



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Pagedale Police Department  
1420 Ferguson Ave  
Pagedale, Missouri 63133  
Dispatch (636) 529-8210 / Station (314)-726-1201  
<http://www.cityofpagedale.com>