

CUNNINGHAM FIRE PROTECTION DISTRICT

RESOLUTION NO. 2019-09

**A RESOLUTION CONSENTING TO THE INCLUSION OF PROPERTY
INTO SOUTH METRO FIRE RESCUE FIRE PROTECTION DISTRICT
(DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS)**

WHEREAS, Cunningham Fire Protection District (“Cunningham”) is a quasi-municipal corporation and political subdivision of the State of Colorado and a duly organized and existing special district pursuant to Title 32, Colorado Revised Statutes; and

WHEREAS, South Metro Fire Rescue Fire Protection District (“South Metro”) is a quasi-municipal corporation and political subdivision of the State of Colorado and a duly organized and existing special district pursuant to Title 32, Colorado Revised Statutes; and

WHEREAS, South Metro and Cunningham Fire have entered into that certain South Metro/Cunningham Fire Rescue Authority Creation and Pre-Unification Agreement dated November 16, 2017 (“Creation Agreement”), which created the South Metro/Cunningham Fire Rescue Authority (“Authority”); and

WHEREAS, the Douglas County Board of County Commissioners, has petitioned South Metro for the inclusion of real property; and

WHEREAS, pursuant to Section VIII, A., of the Creation Agreement, neither party will include or exclude property pursuant to Parts 4 or 5 of Article 1, Title 32, C.R.S., without the written consent of the other party; and

NOW, THEREFORE, BE IT RESOLVED by the Board of Directors of Cunningham Fire Protection District as follows:

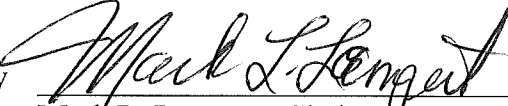
1. **Consent to Inclusion.** The Board of Directors of Cunningham Fire Protection District hereby consents to the inclusion of property into South Metro Fire Rescue Fire Protection District, as described in the Petition for Inclusion attached hereto as Exhibit A and incorporated herein by this reference.

2. **Severability.** If any part, section, subsection, sentence, clause or phrase of this Resolution is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining provisions.

3. **Effective Date.** This Resolution shall take effect and be enforced immediately upon its approval by the District Board.

ADOPTED this 20th day of March, 2019.

CUNNINGHAM FIRE PROTECTION
DISTRICT

By 
Mark L. Lampert, Chairman

Attest:

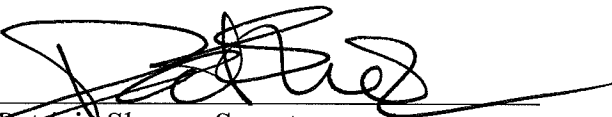

Patricia Shaver, Secretary

EXHIBIT A

PETITION FOR INCLUSION

SOUTH METRO FIRE RESCUE

BOARD AGENDA

MEETING DATE: 3/20/2019

AGENDA ITEM TYPE: ACTION ITEM

SUBJECT: ORDER BY BOARD OF DIRECTORS OF THE SOUTH METRO FIRE RESCUE FIRE PROTECTION DISTRICT FOR INCLUSION OF REAL PROPERTY (DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS)

BACKGROUND: This request is for the inclusion of several parcels within the Backcountry area and near Highway 85. The property owner has submitted the attached Petition for Inclusion. These parcels are tax exempt. Also, they have received emergency services for several years so there are no concerns with SMFR's ability to continue serving.

RECOMMENDATION: Staff recommends approval of the order.

SUBMITTED BY: Mike Dell'Orfano

APPROVED BY: Bob Baker

**ORDER BY BOARD OF DIRECTORS OF THE
SOUTH METRO FIRE RESCUE FIRE PROTECTION DISTRICT
FOR INCLUSION OF REAL PROPERTY
(DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS)**

WHEREAS, there was filed with the Board of Directors of the South Metro Fire Rescue Fire Protection District (“District”) a duly acknowledged Petition, a copy of which is attached hereto as Exhibit A and incorporated herein by this reference, by the Douglas County Board of County Commissioners (“Petitioner”), one hundred percent (100%) fee owner of the real property described in the Petition attached hereto, and requesting that the Board of Directors include such property within the District; and

WHEREAS, the Petition was heard at an open meeting of the Board of Directors of the District on March 20, 2019, at the hour of 6:00 p.m., at 9195 E. Mineral Avenue, Centennial, Colorado 80112, after publication of notice of the filing of such Petition, and the place, time and date of such meeting, the name of the Petitioner and a general description of the property to be included, in the *Douglas County News-Press*, *Littleton Independent* and *Golden Transcript* on March 7, 2019, which proofs of publication are attached hereto as Exhibit B and incorporated herein by this reference; and

WHEREAS, no objection has been filed to the inclusion of the property into the District; and

WHEREAS, the subject property is capable of being served by the District facilities; and

WHEREAS, it is deemed to be in the best interests of the District and the taxpaying electors thereof that such Petition be granted.

IT IS THEREFORE ORDERED that such Petition be granted as to the real property described herein; that the boundaries of the District shall be enlarged by the inclusion of the real property described herein; and that the Douglas County District Court, in which Court an Order was entered establishing this District, be requested to enter an Order that the real property described herein be included within the District.

I certify that the foregoing Order was unanimously passed at a meeting of the Board of Directors of the South Metro Fire Rescue Fire Protection District, duly called and held on March 20, 2019, at the hour of 6:00 p.m. and that the undersigned is the duly acting and authorized Chairman of the District.

SOUTH METRO FIRE RESCUE FIRE
PROTECTION DISTRICT

By: _____
Laura Simon, Chairman

ATTEST:

By: _____
Ronda Scholting, Secretary

**EXHIBIT A TO ORDER BY BOARD OF DIRECTORS
(PETITION FOR INCLUSION)**

**SOUTH METRO FIRE PROTECTIN DISTRICT IS INCLUDED WITH THIS
PETITION FOR INCLUSION**

IN THE MATTER OF SOUTH METRO FIRE RESCUE FIRE PROTECTION DISTRICT

TO THE BOARD OF DIRECTORS OF THE DISTRICT:

The undersigned Petitioner, being the fee owner of one hundred percent (100%) of the real property hereinafter described, hereby petitions that such property be included within the South Metro Fire Rescue Fire Protection District, as provided by law, and for cause, states:

1. That such property is capable of being served with facilities of the District.
2. That assent to the inclusion of such property in the District is hereby given by the undersigned, who constitutes the fee owner of one hundred percent (100%) of such property.
3. That there shall be no withdrawal from this Petition after publication of notice by the Board without the consent of the Board, nor shall further objections be filed thereto by the Petitioner.
4. That the inclusion of such property into the District shall be subject to any and all terms and conditions established by the Board and accepted by Petitioner, and to all duly promulgated rules, regulations and rates of the District.
5. That the property owned by Petitioner and sought to be included in the District is described as follows:

See Exhibit A attached hereto and incorporated herein by reference.

PETITIONER:

By: Lora L. Thomas
Print Name: Lora L. Thomas
Print
Address: 100 Third St
Castle Rock, CO 80104

STATE OF COLORADO)
)
COUNTY OF Douglas) ss.

The foregoing Petition for Inclusion was acknowledged before me this 27th day
of December, 2018 by Loral Thomas as
chair of Douglas County Board of County Commissioners.

Witness my hand and official seal.

My commission expires: n/a

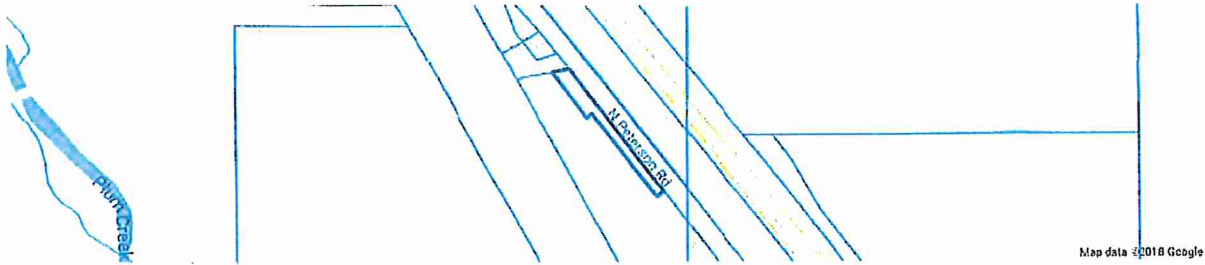
AMY T. WILLIAMS
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 19974000634
MY COMMISSION EXPIRES 2/08/2021

Amy Williams
Notary Public

Displaying data for the year 2018

No Address

Ownership Information
DOUGLAS COUNTY BOARD OF COUNTY
COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104



Account #:	R0410824
State Parcel #:	2353-104-00-036
Account Type:	Exempt
Tax District:	0078
Neighborhood-Ext:	
Owner Info	
DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS	
100 THIRD ST	
CASTLE ROCK, CO 80104	

Building Count:	0
Building Permit Authority:	Douglas County
Phone:	303-660-7497
Subdivision	
Name:	METES AND BOUNDS
Reception No:	0000051
Location Description	
TRACT IN NE1/4SE1/4 10-7-68 0.34 AML	
Public Land Survey System (PLSS) Location	
Quarter: SE; Section: 10; Township: 7; Range: 68	

R0410824

9826659 - 04/14/98 14:49 - RETA A. CRAIN DOUGLAS CO. COLO. CLERK & RECORDER
E1535 - P2140 - \$0.00 - D.F. \$0.00 - 3/ 3

LEGAL DESCRIPTION
EXHIBIT "29"

DOUGLAS COUNTY ROAD NO. 16, RIGHT-OF-WAY ACQUISITION


A PARCEL OF LAND FOR A RIGHT-OF-WAY ACQUISITION, BEING A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS S18°58'09"E A DISTANCE OF 1168.77 FEET FROM A 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TO A 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF SECTION 11, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN.

BEGINNING AT A POINT WHICH BEARS S27°46'08"E A DISTANCE OF 2057.21 FEET FROM SAID 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10;

THENCE N79°33'01"E A DISTANCE OF 54.06 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD 16; THENCE S38°47'00"E ALONG SAID WESTERLY RIGHT-OF-WAY-LINE A DISTANCE OF 389.88 FEET; THENCE S38°50'10"E A DISTANCE OF 50.61 FEET; THENCE S51°09'50"W A DISTANCE OF 24.34 FEET; THENCE N39°11'17"W A DISTANCE OF 300.00 FEET; THENCE S50°48'43"W A DISTANCE OF 20.00 FEET; THENCE N38°16'17"W A DISTANCE OF 166.32 FEET TO THE POINT OF BEGINNING, WHEN SAID 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF SECTION 11, BEARS S10°35'13"E A DISTANCE OF 2128.84 FEET.

CONTAINING 0.340 ACRES OR (14806.7 SQUARE FEET), MORE OR LESS.

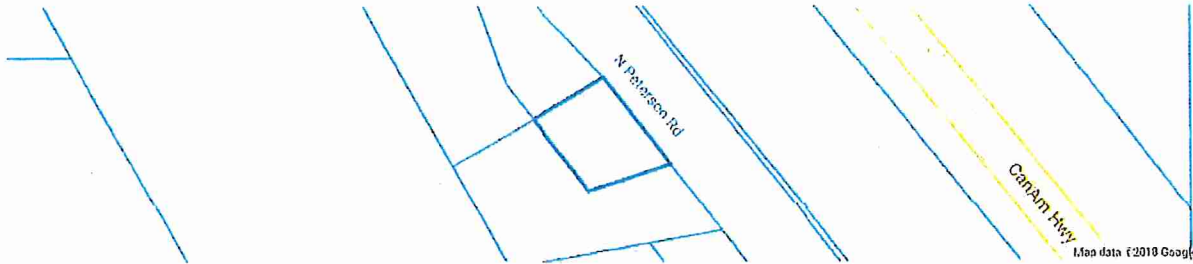
 CHRISTOPHER P. BROWN
COLORADO REGISTERED LAND SURVEYOR L.S. 3113
FOR AND ON BEHALF OF PRECISION SURVEY AND MAPPING, INC.

12-21-97
ROW ACQ 29
SHEET 2 OF 2
REVISED 12-21-97

Displaying data for the year 2018

No Address

Ownership Information
DOUGLAS COUNTY BOARD OF COUNTY
COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104



Account #: R0410801
State Parcel #: 2353-104-00-034
Account Type: Exempt
Tax District: 0078
Neighborhood-Ext:

Owner Info
DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104

Building Count: 0
Building Permit Authority: Douglas County
Phone: 303-660-7497
Subdivision
Name: METES AND BOUNDS
Reception No: 0000051

Location Description
TRACT IN NE1/4SE1/4 10-7-68 0.102 AM/L
Public Land Survey System (PLSS) Location
Quarter: SE; Section: 10; Township: 7; Range: 68

RO410801

9826656 - 04/14/98 14:48 - RETA A. CRAIN DOUGLAS CO. COLO. CLERK & RECORDER
B1535 - P2129 - \$0.00 - D.F. EXEMPT - 3/ 3

LEGAL DESCRIPTION
EXHIBIT "27"

DOUGLAS COUNTY ROAD NO. 16, RIGHT-OF-WAY ACQUISITION

A PARCEL OF LAND FOR A RIGHT-OF-WAY ACQUISITION, BEING A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS S18°58'09"E A DISTANCE OF 4168.77 FEET FROM A 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TO A 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF SECTION 11, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN.

BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF LANDS DESCRIBED IN RECEPTION NO. 9672317, FILED IN THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT BEARS S26°46'16"E A DISTANCE OF 1940.72 FEET FROM SAID 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION 10;

THENCE N59°44'24"E ALONG SAID NORTHWESTERLY LINE A DISTANCE OF 58.64 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD 18; THENCE S38°58'28"E ALONG SAID WESTERLY RIGHT-OF-WAY LINE A DISTANCE OF 78.39 FEET; THENCE S72°14'14"W A DISTANCE OF 62.04 FEET; THENCE N39°11'17"W A DISTANCE OF 64.48 FEET TO THE POINT OF BEGINNING, WHENCE SAID 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF SECTION 11 BEARS S12°16'45"E A DISTANCE OF 2261.41 FEET.

CONTAINING 0.102 ACRES OR (4192.2 SQUARE FEET), MORE OR LESS.

Christopher E. Kirkman
CHRISTOPHER E. KIRKMAN
COLORADO REGISTERED LAND SURVEYOR L.S. 31158
FOR AND ON BEHALF OF PRECISION SURVEY AND MAPPING, INC.



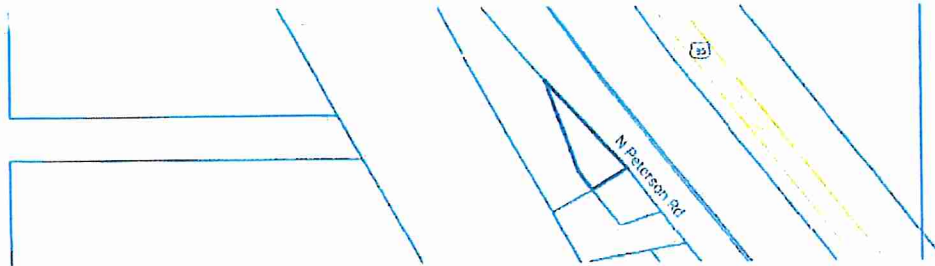
12-21-97
DATE

ROW ACQ 27
SHEET 2 OF 2
REVISED 12-21-97

Displaying data for the year 2018

No Address

Ownership Information
DOUGLAS COUNTY BOARD OF COUNTY
COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104



Map data ©2018 Google

Account #:	R0410797
State Parcel #:	2353-104-00-033
Account Type:	Exempt
Tax District:	0078
Neighborhood-Ext:	

Owner Info
DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104

Building Count:	0
Building Permit Authority:	Douglas County
Phone:	303-660-7497
Subdivision	
Name:	METES AND BOUNDS
Reception No:	0000051

Location Description
TRACT IN NE1/4SE1/4 10-7-68 0.129 AM/L

Public Land Survey System (PLSS) Location
Quarter: SE; Section: 10; Township: 7; Range: 68

RD410797

9826657 - 04/14/98 14:49 - RETA A. CRAIN DOUGLAS CO., COLO. CLERK & RECORDER
B1535 - P2132 - \$0.00 - D.F. EXEMPT - 3/ 3

LEGAL DESCRIPTION
EXHIBIT "25"

DOUGLAS COUNTY ROAD NO. 16, RIGHT-OF-WAY ACQUISITION

A PARCEL OF LAND FOR A RIGHT-OF-WAY ACQUISITION, BEING A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING OF THIS DESCRIPTION IS S18°58'09"E A DISTANCE OF 4168.77 FEET FROM A 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TO A 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF SECTION 11, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN.

BEGINNING AT A POINT ON THE SOUTHEASTERLY LINE OF LANDS DESCRIBED IN RECEPTION NO. 9672317, FILED IN THE DOUGLAS COUNTY CLERK AND RECORDER'S OFFICE, SAID POINT BEARS S26°46'16"E A DISTANCE OF 1940.72 FEET FROM SAID 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10;

THENCE N39°11'17"W A DISTANCE OF 32.52 FEET; THENCE N20°57'13"W A DISTANCE OF 136.87 FEET TO THE NORTHERLY MOST CORNER OF SAID LANDS, SAID POINT ALSO BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 18; THENCE S40°13'46"E ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 172.82 FEET; THENCE S59°41'11"W ALONG THE AFOREMENTIONED SOUTHEASTERLY LINE A DISTANCE OF 32.52 FEET TO THE POINT OF BEGINNING, WHENCE SAID 2-1/2" ALUMINUM CAP STAMPED LS#6935 ARCHER & ASSOCIATES FOUND AT THE SOUTHWEST CORNER OF SECTION 11, BEARS S12°16'45"E A DISTANCE OF 2261.41 FEET.

CONTAINING 0.129 ACRES OR (5597.4 SQUARE FEET), MORE OR LESS.

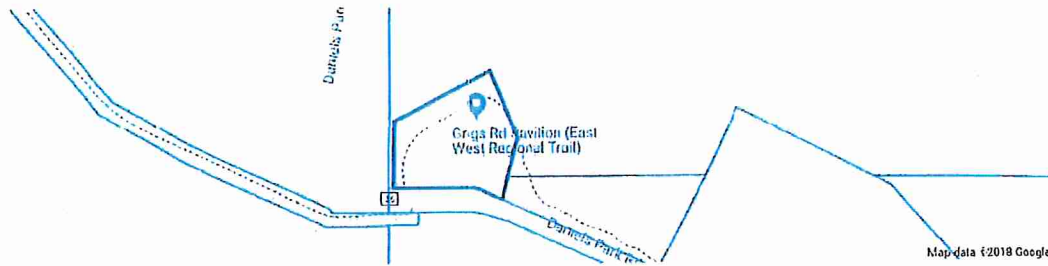
Christina R. J. ...
CHRISTINA R. J. ... SURVEYOR L.S. 31158 DATE 12-27-98
COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR
FOR AND ON BEHALF OF PRECISION SURVEY AND MAPPING, INC.

ROW ACQ 25
SHEET 2 OF 2
REVISED 12-21-97

Displaying data for the year 2018

11700 GRIGS RD
HIGHLANDS RANCH, CO 80126

Ownership Information
DOUGLAS COUNTY BOARD OF COUNTY
COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104



Account #: R0440998
State Parcel #: 2231-302-00-005
Account Type: Exempt
Tax District: 0078
Neighborhood-Ext:

Owner Info
DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104

Building Count: 0
Building Permit Authority: Douglas County
Phone: 303-660-7497

Subdivision
Name: METES AND BOUNDS
Reception No: 0000051

Location Description
TRACT IN SW1/4NW1/4NW1/4 30-6-67 2.088 AM/L 0.10 ACRES SUBJECT TO CONSERVATION EASEMENT 388-765

Public Land Survey System (PLSS) Location
Quarter: NW; Section: 30; Township: 6; Range: 67

EXHIBIT B

RD440998

LEGAL DESCRIPTION

**REGIONAL HIKING, BIKING, AND EQUESTRIAN TRAIL
TRAILHEAD PARKING AREA**

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 6 SOUTH, RANGE 87 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 30; THENCE ALONG THE WESTERLY LINE OF SAID NORTHWEST QUARTER, SOUTH $00^{\circ}11'06''$ EAST 1347.19 FEET TO THE NORTHERLY RIGHT-OF-WAY OF DANIELS PARK ROAD;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY NORTH $89^{\circ}46'46''$ WEST 15.09 FEET TO THE TRUE POINT OF BEGINNING,

THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY NORTH $00^{\circ}49'06''$ EAST A DISTANCE OF 190.02 FEET;

THENCE NORTH $62^{\circ}47'31''$ EAST A DISTANCE OF 315.13 FEET;

THENCE SOUTH $22^{\circ}42'38''$ EAST A DISTANCE OF 201.69 FEET;

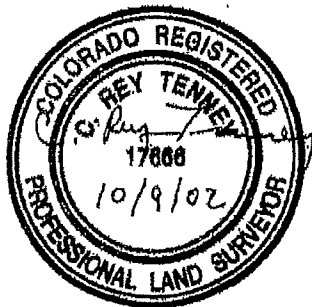
THENCE SOUTH $13^{\circ}52'02''$ WEST A DISTANCE OF 185.75 FEET TO SAID NORTHERLY RIGHT-OF-WAY;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO COURSES:

1. THENCE NORTH $66^{\circ}03'45''$ WEST A DISTANCE OF 181.91 FEET;
2. THENCE SOUTH $89^{\circ}46'46''$ WEST A DISTANCE OF 241.46 FEET;

CONTAINING 2.088 ACRES (90,953 SQUARE FEET), MORE OR LESS.

EXHIBIT ATTACHED AND MADE A PART HEREOF.

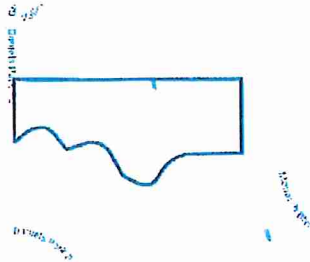


C. REY TENNEY
COLORADO PROFESSIONAL LAND SURVEYOR NO. 17666
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.

Displaying data for the year 2018

No Address

Ownership Information
DOUGLAS COUNTY BOARD OF COUNTY
COMMISSIONERS
100 3RD ST
CASTLE ROCK, CO 80104



Map data ©2018 Google

Account #:	R0478773
State Parcel #:	2231-194-00-005
Account Type:	Exempt
Tax District:	0078
Neighborhood-Ext:	

Owner Info
DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS
100 3RD ST
CASTLE ROCK, CO 80104

Building Count:	0
Building Permit Authority:	Douglas County
Phone:	303-660-7497
Subdivision	
Name:	METES AND BOUNDS
Reception No:	0000051

Location Description
TR IN S1/2 19-6-67 & N1/2N1/2N1/2 30-6-67 202.00 AM/L

Public Land Survey System (PLSS) Location
Quarter: SE; Section: 19; Township: 6; Range: 67

RO 478773

EXHIBIT A
TO
SPECIAL WARRANTY DEED

THAT PORTION OF SECTION 19 AND SECTION 30, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

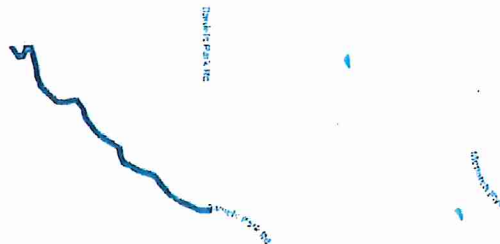
COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 19; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID SECTION 19, SAID WESTERLY LINE ALSO BEING THE CENTERLINE OF DANIELS PARK ROAD, SOUTH $00^{\circ}11'06''$ EAST 3244.00 FEET; THENCE LEAVING SAID WESTERLY SECTION LINE AND SAID CENTERLINE NORTH $89^{\circ}48'54''$ EAST 30.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID DANIELS PARK ROAD; THENCE NORTH $90^{\circ}00'00''$ EAST 5287.26 FEET TO THE EASTERLY LINE OF SAID SECTION 19; THENCE SOUTHERLY ALONG SAID EASTERLY LINE SOUTH $00^{\circ}01'10''$ EAST 1667.70 FEET; THENCE LEAVING SAID EASTERLY LINE SOUTH $89^{\circ}03'29''$ WEST 1193.54 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 750.00 FEET; THENCE WESTERLY AND SOUTHWESTERLY ALONG SAID CURVE 737.40 FEET THROUGH A CENTRAL ANGLE OF $55^{\circ}20'00''$; THENCE TANGENT TO SAID CURVE SOUTH $32^{\circ}43'29''$ WEST 226.12 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 350.00 FEET, THENCE SOUTHWESTERLY, WESTERLY AND NORTHWESTERLY ALONG SAID CURVE 506.24 FEET THROUGH A CENTRAL ANGLE OF $82^{\circ}52'22''$; THENCE TANGENT TO SAID CURVE NORTH $64^{\circ}24'09''$ WEST 262.22 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 300.00 FEET, THENCE NORTHWESTERLY ALONG SAID CURVE 178.18 FEET THROUGH A CENTRAL ANGLE OF $34^{\circ}01'41''$; THENCE TANGENT TO SAID CURVE NORTH $30^{\circ}22'22''$ WEST 528.81 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 500.00 FEET; THENCE NORTHWESTERLY, WESTERLY, AND SOUTHWESTERLY ALONG SAID CURVE 674.87 FEET THROUGH A CENTRAL ANGLE OF $77^{\circ}20'05''$; THENCE TANGENT TO SAID CURVE SOUTH $72^{\circ}17'33''$ WEST 401.69 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 100.00 FEET, THENCE WESTERLY AND NORTHWESTERLY ALONG SAID CURVE 120.89 FEET THROUGH A CENTRAL ANGLE OF $69^{\circ}16'00''$; THENCE TANGENT TO SAID CURVE NORTH $38^{\circ}26'27''$ WEST 328.29 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 500.00 FEET, THENCE NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY ALONG SAID CURVE 780.70 FEET THROUGH A CENTRAL ANGLE OF $89^{\circ}27'43''$; THENCE TANGENT TO SAID CURVE SOUTH $52^{\circ}05'50''$ WEST 370.73 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID DANIELS PARK ROAD; THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH $00^{\circ}11'06''$ WEST 1412.58 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING 202.000 ACRES (8,799,120 SQUARE FEET) MORE OR LESS.

Displaying data for the year 2018

No Address

Ownership Information
DOUGLAS COUNTY BOARD OF COUNTY
COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104



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Account #: R0440991
State Parcel #: 2229-243-00-006
Account Type: Exempt
Tax District: 0078
Neighborhood-Ext:

Owner Info
DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS
100 THIRD ST
CASTLE ROCK, CO 80104

Building Count: 0
Building Permit Authority: Douglas County
Phone: 303-660-7497
Subdivision
Name: METES AND BOUNDS
Reception No: 0000051

Location Description
TRACT IN SW1/4 & IN SE1/4 24-6-68 & IN NE1/4 25-6-68 & IN NW1/4SW1/4NW1/4 30-6-67 7.753 AM/L 5.621 ACRES
SUBJECT TO CONSERVATION EASEMENT 388-759

Public Land Survey System (PLSS) Location
Quarter: SW; Section: 24; Township: 6; Range: 68

R 0440991
P 1 of 2

EXHIBIT A

LEGAL DESCRIPTION

REGIONAL HIKING, BIKING, AND EQUESTRIAN TRAIL

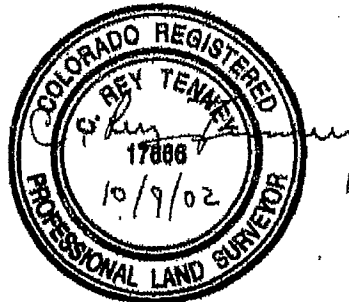
A PORTION OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 6 SOUTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN AND A PORTION OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 6 SOUTH, RANGE 87 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 25; THENCE ALONG THE EASTERLY LINE OF SAID NORTHEAST QUARTER OF SECTION 25, SOUTH 00°11'06" EAST 1407.19 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY OF DANIELS PARK ROAD; THENCE DEPARTING SAID EASTERLY SECTION LINE ALONG SAID SOUTHERLY RIGHT-OF-WAY NORTH 89°46'46" EAST A DISTANCE OF 83.46 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY SOUTH 00°27'45" WEST A DISTANCE OF 35.75 FEET; THENCE SOUTH 88°49'14" WEST A DISTANCE OF 261.80 FEET; THENCE NORTH 86°59'48" WEST A DISTANCE OF 458.67 FEET; THENCE NORTH 80°39'16" WEST A DISTANCE OF 275.47 FEET; THENCE NORTH 41°00'52" WEST A DISTANCE OF 357.39 FEET; THENCE NORTH 38°32'52" WEST A DISTANCE OF 237.93 FEET; THENCE NORTH 57°02'45" WEST A DISTANCE OF 119.32 FEET; THENCE NORTH 78°51'28" WEST A DISTANCE OF 266.33 FEET; THENCE NORTH 61°02'54" WEST A DISTANCE OF 418.96 FEET; THENCE NORTH 23°20'04" WEST A DISTANCE OF 192.74 FEET; THENCE NORTH 09°19'19" WEST A DISTANCE OF 99.52 FEET; THENCE NORTH 32°58'24" WEST A DISTANCE OF 77.05 FEET; THENCE NORTH 58°15'41" WEST A DISTANCE OF 326.74 FEET; THENCE NORTH 50°59'43" WEST A DISTANCE OF 270.95 FEET; THENCE NORTH 38°36'36" WEST A DISTANCE OF 361.28 FEET; THENCE NORTH 21°04'28" WEST A DISTANCE OF 256.47 FEET; THENCE NORTH 35°35'35" WEST A DISTANCE OF 200.33 FEET; THENCE NORTH 73°26'04" WEST A DISTANCE OF 42.56 FEET; THENCE SOUTH 80°56'49" WEST A DISTANCE OF 251.12 FEET; THENCE NORTH 84°10'32" WEST A DISTANCE OF 191.30 FEET; THENCE NORTH 48°14'35" WEST A DISTANCE OF 480.82 FEET; THENCE NORTH 23°49'05" WEST A DISTANCE OF 265.95 FEET; THENCE NORTH 05°53'30" WEST A DISTANCE OF 234.81 FEET; THENCE NORTH 16°34'11" WEST A DISTANCE OF 229.31 FEET; THENCE NORTH 15°17'33" WEST A DISTANCE OF 131.92 FEET; THENCE NORTH 85°44'26" WEST A DISTANCE OF 59.41 FEET; THENCE SOUTH 36°27'15" WEST A DISTANCE OF 176.39 FEET; THENCE SOUTH 74°08'37" WEST A DISTANCE OF 127.43 FEET; THENCE NORTH 34°12'30" WEST A DISTANCE OF 292.23 FEET; THENCE NORTH 39°01'41" WEST A DISTANCE OF 5.68 FEET TO THE SOUTHERLY BOUNDARY OF HIGHLANDS RANCH FILING 122U, 1ST AMENDMENT, AS RECORDED IN RECEPTION NUMBER 01116891 IN THE RECORDS OF THE CLERK AND RECORDER OF SAID DOUGLAS COUNTY;

THENCE ALONG SAID SOUTHERLY BOUNDARY NORTH 87°26'22" EAST A
DISTANCE OF 51.73 FEET;
THENCE DEPARTING SAID SOUTHERLY BOUNDARY SOUTH 28°34'28" EAST A
DISTANCE OF 9.57 FEET;
THENCE SOUTH 34°51'49" EAST A DISTANCE OF 16.22 FEET;
THENCE SOUTH 39°43'51" EAST A DISTANCE OF 214.43 FEET;
THENCE NORTH 52°30'25" EAST A DISTANCE OF 105.80 FEET;
THENCE NORTH 20°59'32" EAST A DISTANCE OF 139.83 FEET;
THENCE NORTH 87°32'55" EAST A DISTANCE OF 145.77 FEET;
THENCE SOUTH 14°53'53" EAST A DISTANCE OF 210.93 FEET;
THENCE SOUTH 17°06'58" EAST A DISTANCE OF 230.63 FEET;
THENCE SOUTH 05°52'49" EAST A DISTANCE OF 237.02 FEET;
THENCE SOUTH 23°37'24" EAST A DISTANCE OF 243.17 FEET;
THENCE SOUTH 44°48'37" EAST A DISTANCE OF 224.78 FEET;
THENCE SOUTH 50°57'51" EAST A DISTANCE OF 244.05 FEET;
THENCE SOUTH 64°58'08" EAST A DISTANCE OF 166.53 FEET;
THENCE NORTH 80°52'52" EAST A DISTANCE OF 267.52 FEET;
THENCE SOUTH 64°39'08" EAST A DISTANCE OF 71.65 FEET;
THENCE SOUTH 35°29'04" EAST A DISTANCE OF 216.95 FEET;
THENCE SOUTH 20°48'58" EAST A DISTANCE OF 251.08 FEET;
THENCE SOUTH 38°40'47" EAST A DISTANCE OF 345.92 FEET;
THENCE SOUTH 51°03'02" EAST A DISTANCE OF 261.97 FEET;
THENCE SOUTH 57°47'17" EAST A DISTANCE OF 341.79 FEET;
THENCE SOUTH 32°39'03" EAST A DISTANCE OF 98.63 FEET;
THENCE SOUTH 09°20'29" EAST A DISTANCE OF 115.01 FEET;
THENCE SOUTH 25°02'41" EAST A DISTANCE OF 162.33 FEET;
THENCE SOUTH 61°35'19" EAST A DISTANCE OF 395.36 FEET;
THENCE SOUTH 77°08'47" EAST A DISTANCE OF 261.45 FEET;
THENCE SOUTH 56°50'59" EAST A DISTANCE OF 140.78 FEET;
THENCE SOUTH 36°38'57" EAST A DISTANCE OF 244.22 FEET;
THENCE SOUTH 41°00'33" EAST A DISTANCE OF 349.11 FEET;
THENCE SOUTH 61°06'17" EAST A DISTANCE OF 258.71 FEET;
THENCE SOUTH 66°52'35" EAST A DISTANCE OF 449.86 FEET;
THENCE SOUTH 31°52'21" EAST A DISTANCE OF 154.11 FEET;
THENCE NORTH 89°08'37" EAST A DISTANCE OF 162.31 FEET TO THE TRUE
POINT OF BEGINNING.

CONTAINING 7.753 ACRES (337,739 SQUARE FEET), MORE OR LESS.

EXHIBIT ATTACHED AND MADE A PART HEREOF.



C. REY TENNEY
COLORADO PROFESSIONAL LAND SURVEYOR NO. 17866
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.

**EXHIBIT B TO ORDER BY BOARD OF DIRECTORS
(PROOFS OF PUBLICATION)**